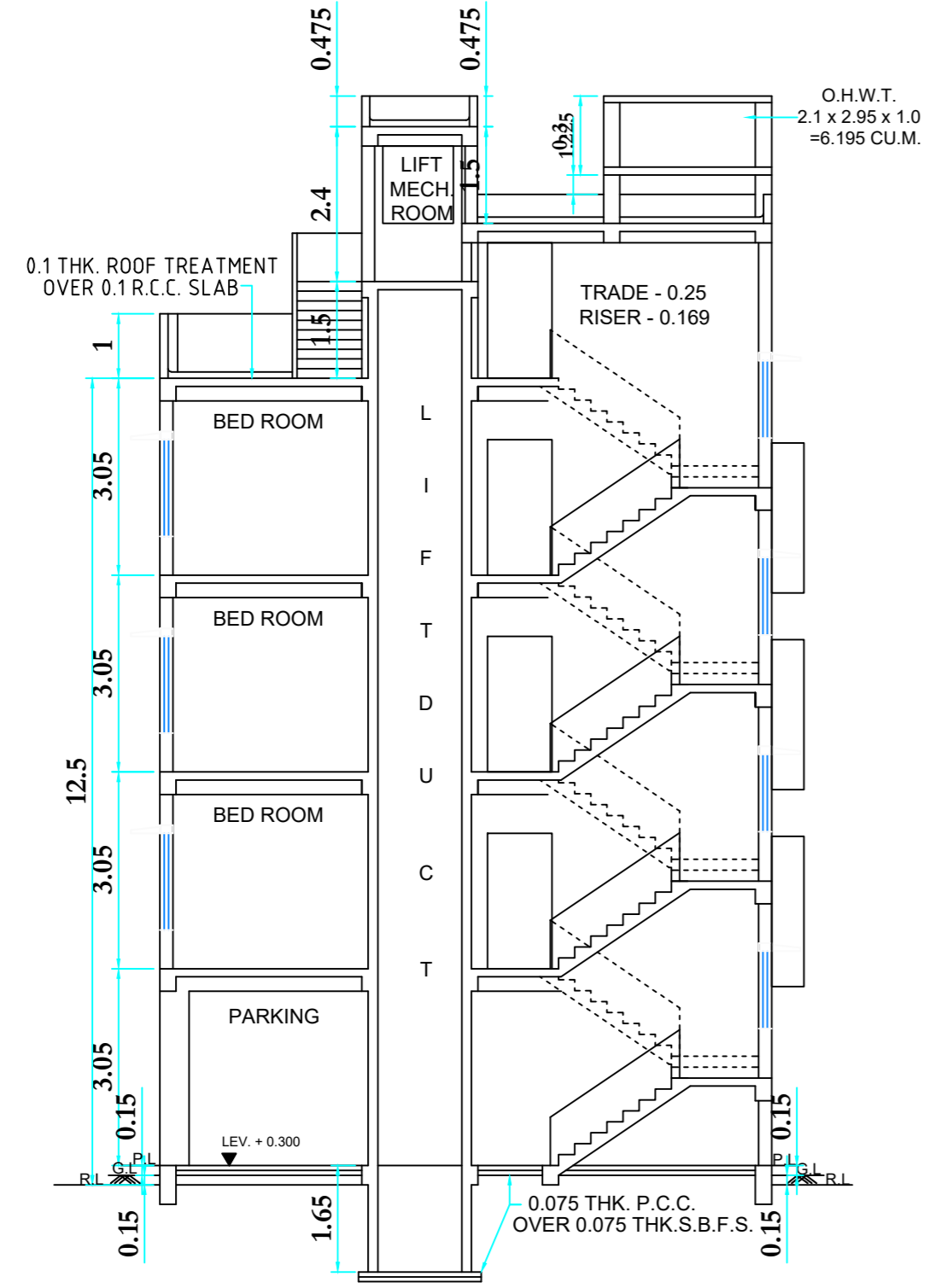
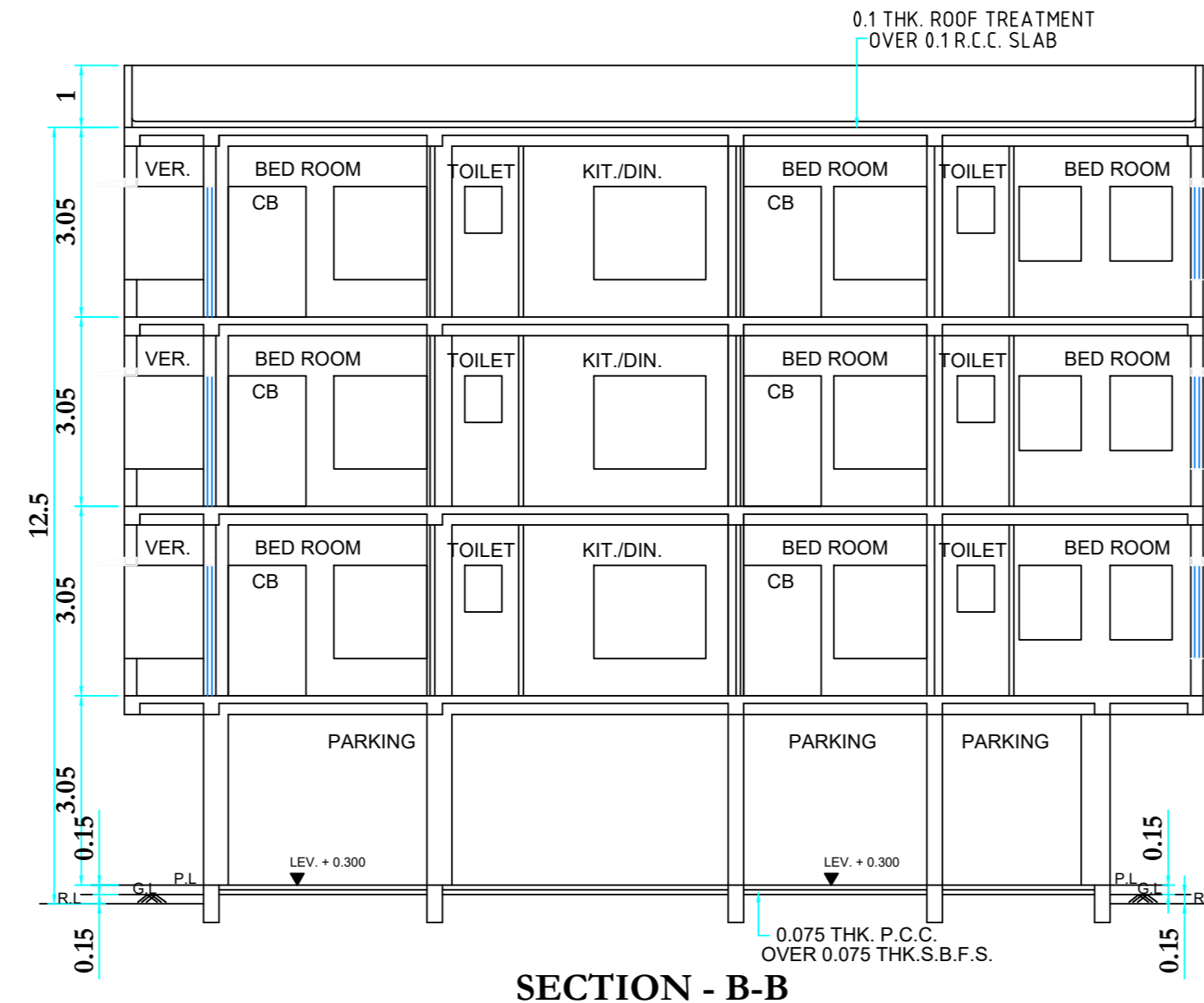




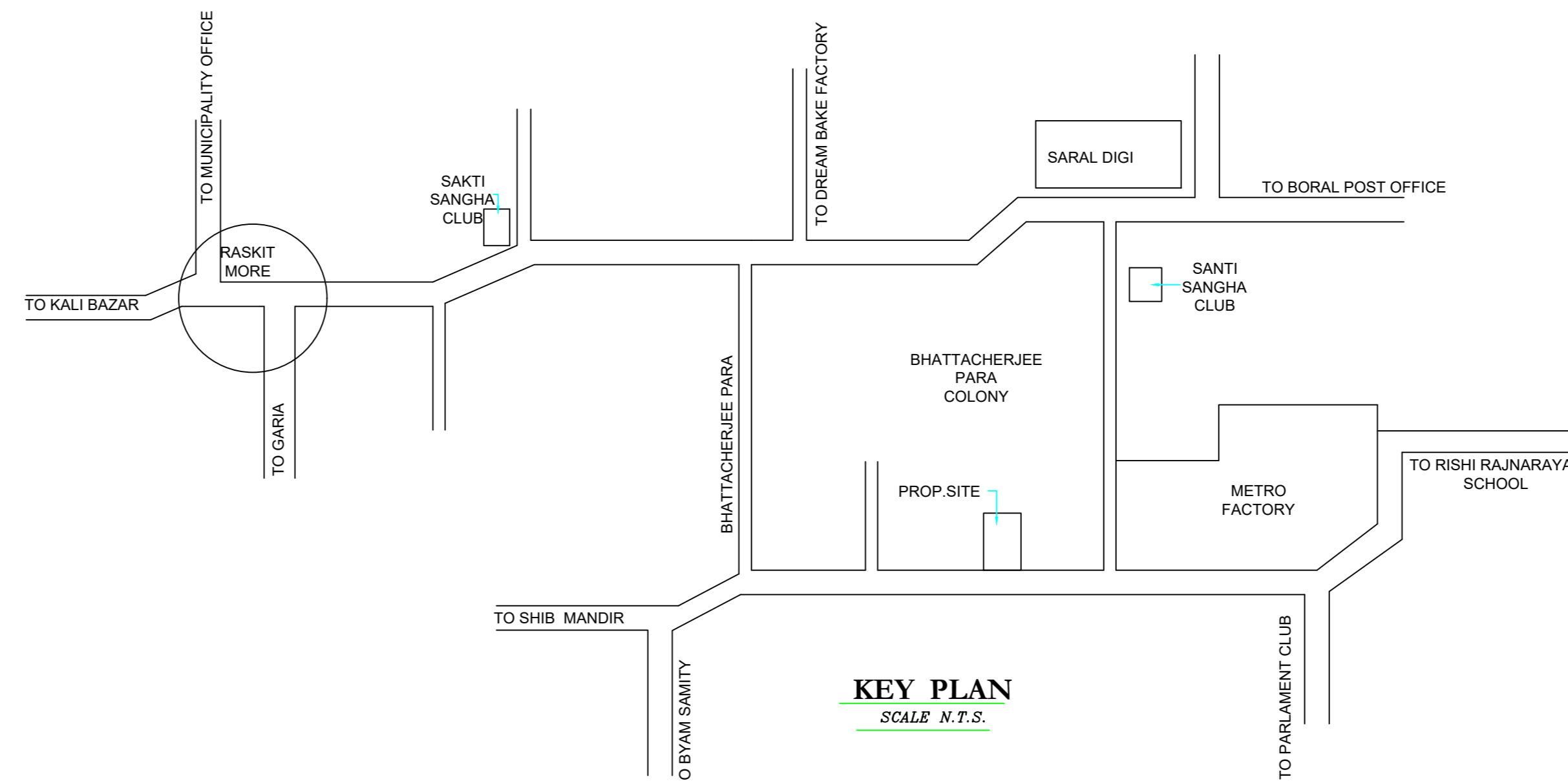
FRONT ELEVATION
SCALE - 1:100



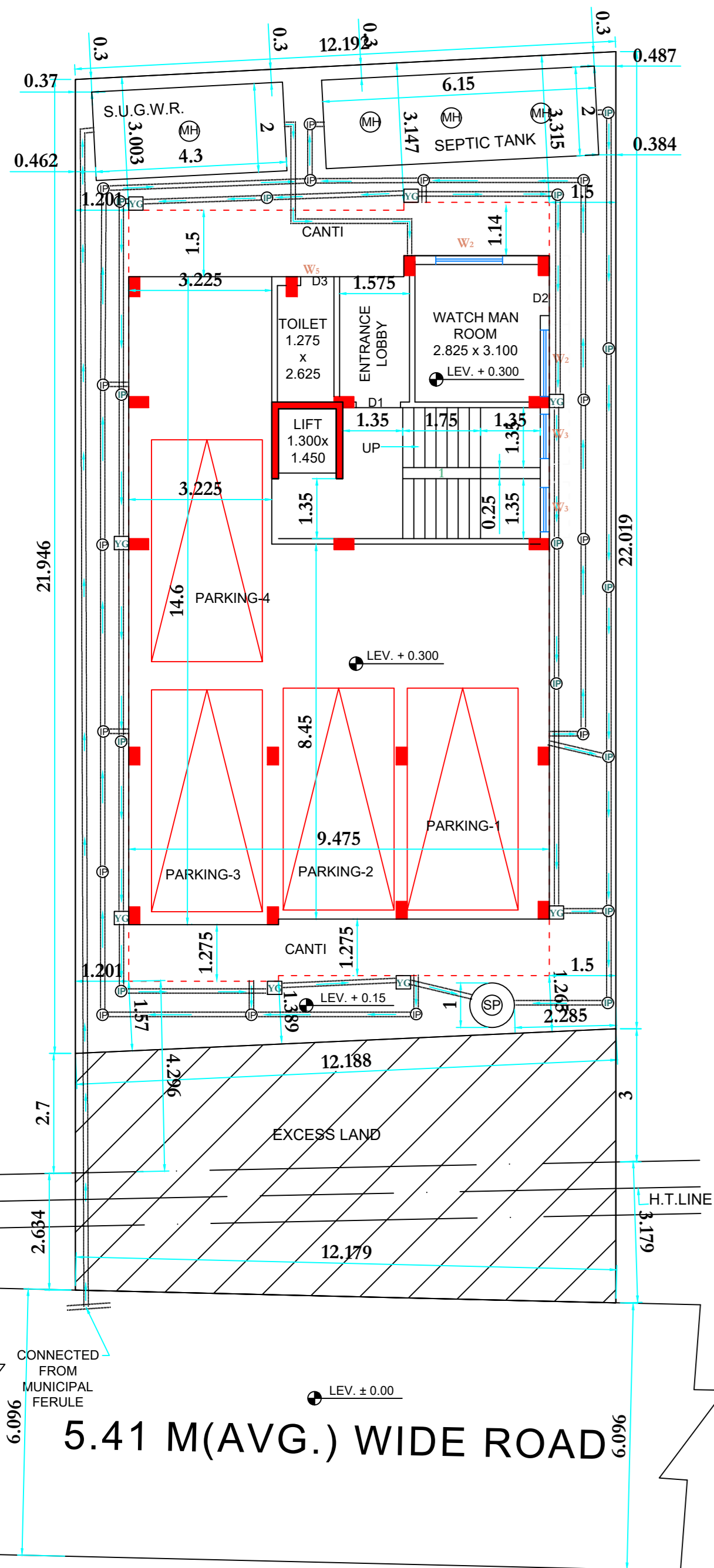
SECTION - A-A
SCALE - 1:100



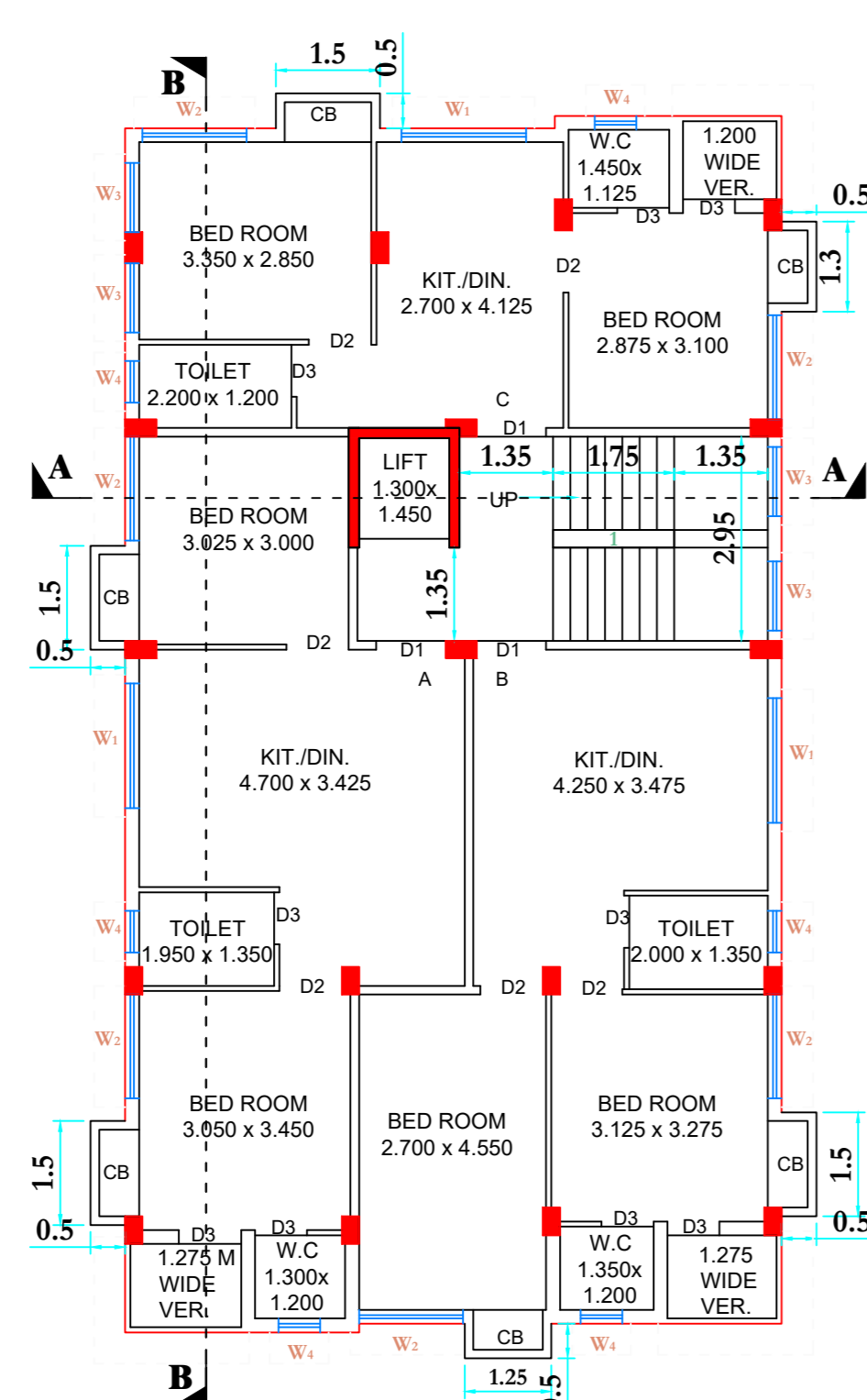
SECTION - B-B
SCALE - 1:100



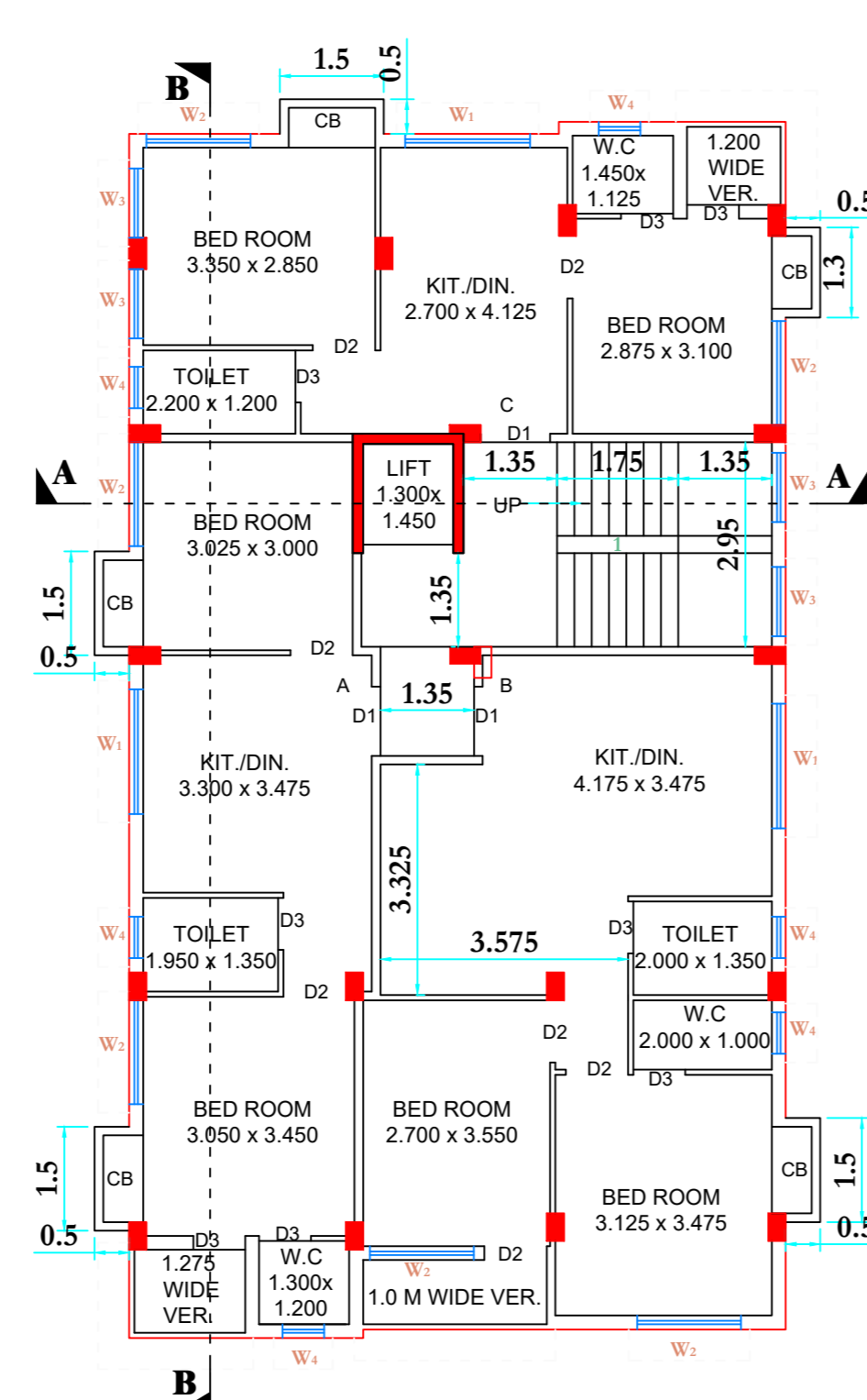
KEY PLAN
SCALE N.T.S.



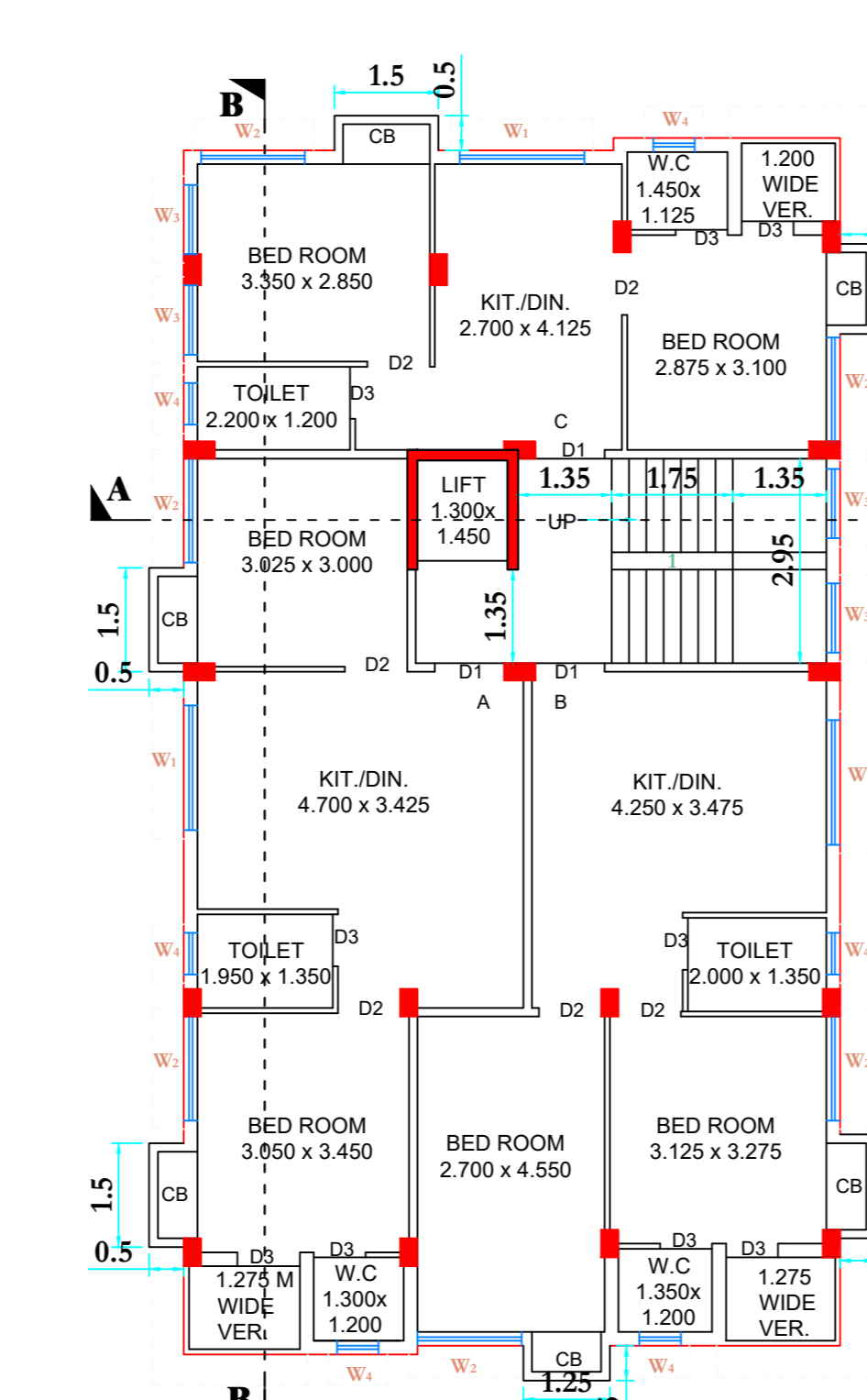
PROP. GR. FLOOR PLAN
SCALE - 1:100



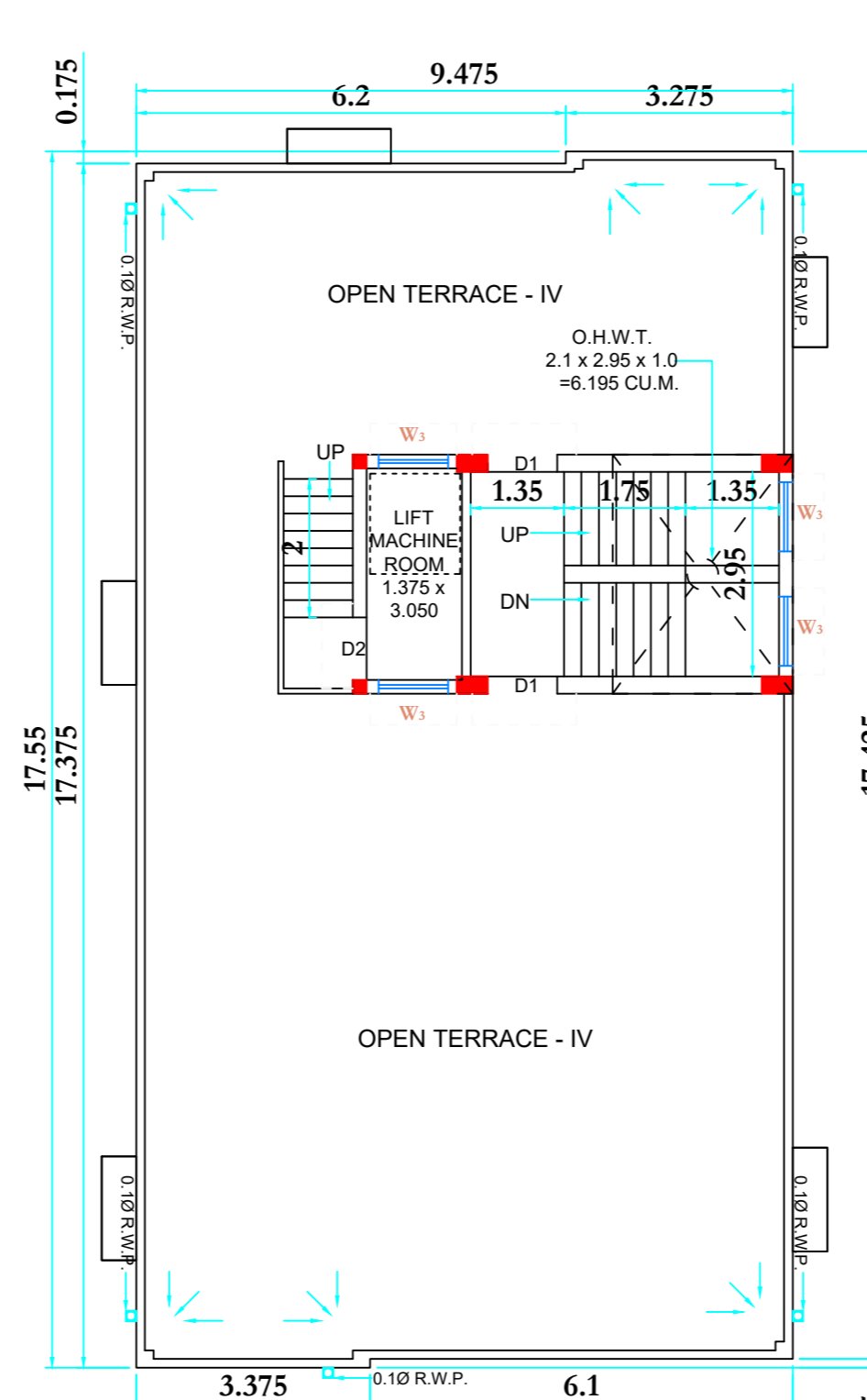
1ST FLOOR PLAN
SCALE - 1:100



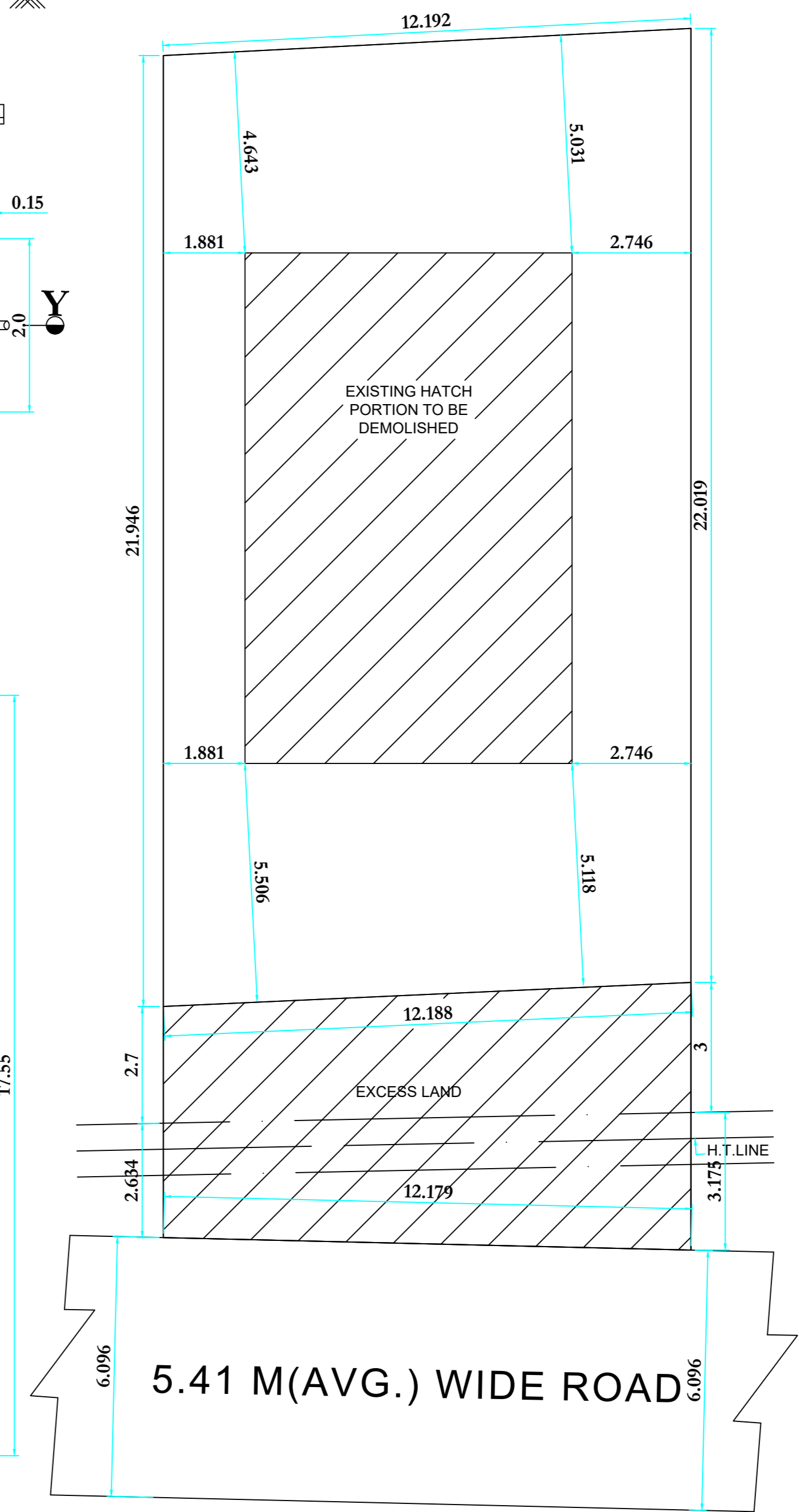
2ND FLOOR PLAN
SCALE - 1:100



3RD FLOOR PLAN
SCALE - 1:100



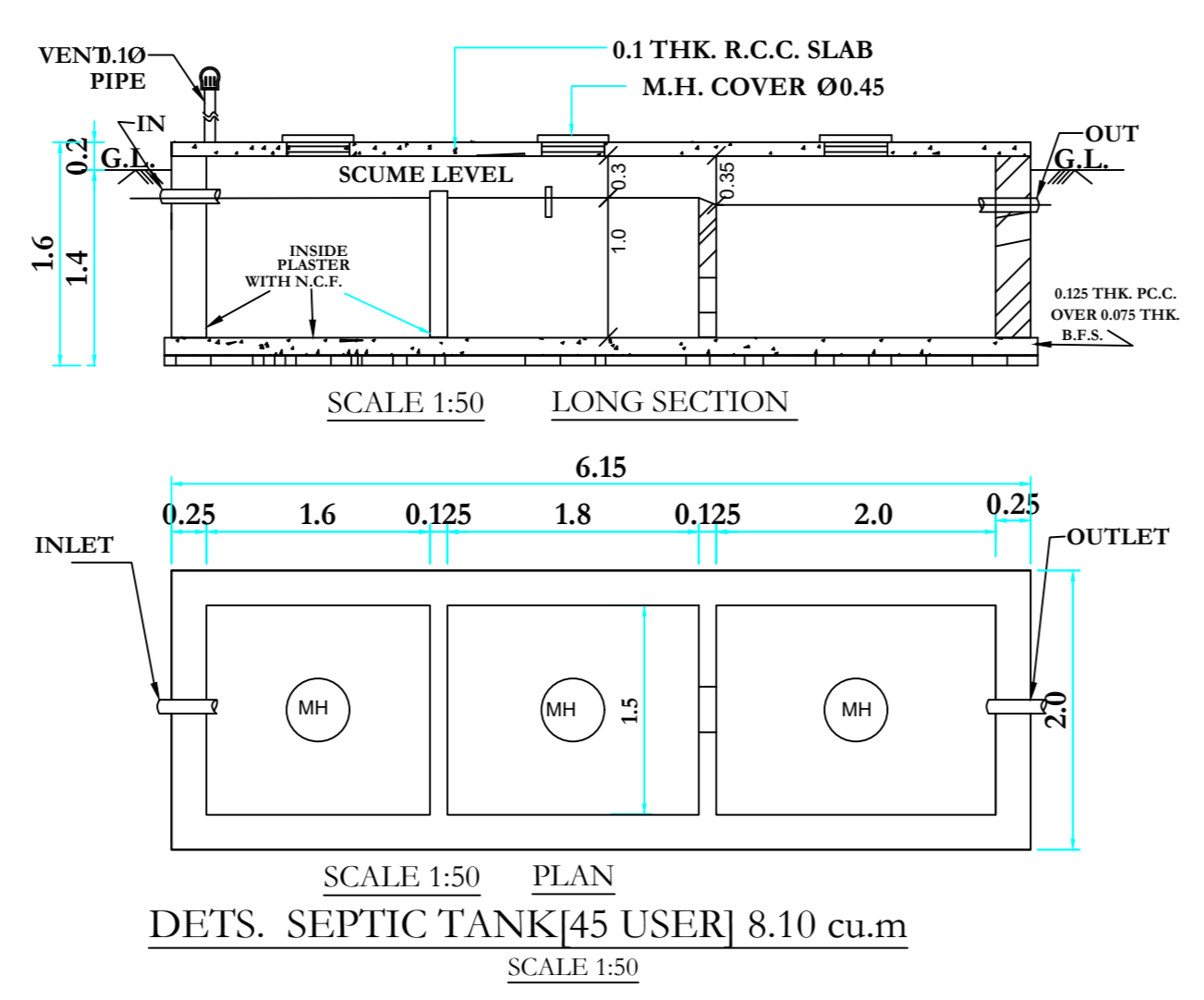
ROOF PLAN
SCALE - 1:100



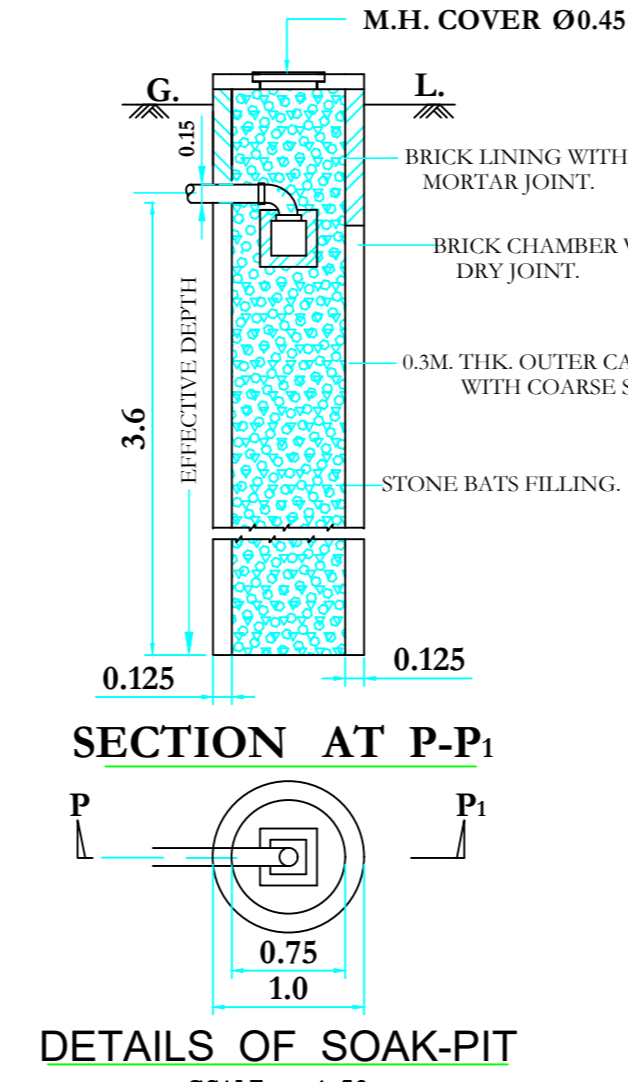
EXISTING GROUND FLOOR PLAN
SCALE - 1:100

SCHED. OF DOORS & WINDOWS

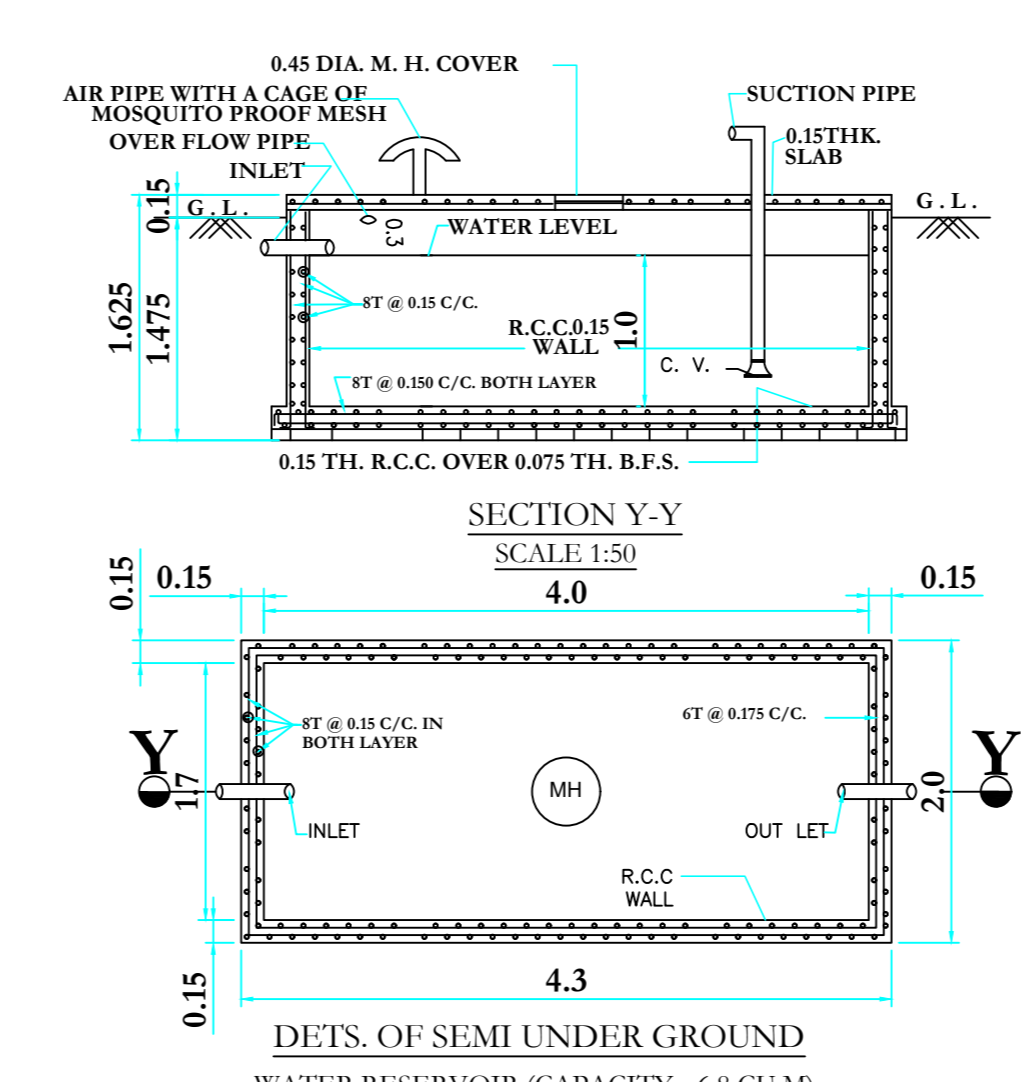
MKD	SIZE	MKD	SIZE
D1	1.0X2.1	W1	1.8X1.5
D2	0.90X2.1	W2	1.5X1.5
D3	0.75X2.1	W3	1.0x1.2
		W4	0.6x0.75
		W5	0.825x0.400



DETS. SEPTIC TANK (45 USER) 8.10 cu.m
SCALE 1:50



DETAILS OF SOAK-PIT
SCALE - 1:50



DETS. OF SEMI UNDER GROUND WATER RESERVOIR (CAPACITY - 6.8 CUM)
SCALE 1:50

PROPOSED G+III STORIED RESIDENTIAL BUILDING PLAN AT MOUZA - BORAL ,
J.L. No.- 61 ,R.S. DAG NO. - 641 , L.O.P. NO. - 07 , WARD No.- 34 ,HOLDING No.- 139 ,
BORAL -A , P.S.-NARENDRPUR(NEW) SONARPUR (OLD) , DIST.-24 PARGANA(S).
OWNERS' NAME SMT. JHARNA DEY SARKAR.

DETAILS SPECIFICATION OF BUILDING

1. ALL DIMENSIONS ARE IN METER UNLESS MENTIONED.
2. ALL EXTERNAL WALLS 0.200 M THICK, EXCEPT OTHERWISE MENTIONED CONSTRUCTION WITH CEMENT - SAND MORTAR (1:0).
3. ALL PARTITION (INTERNAL) WALLS 0.125 & 0.075 M THICK CONSTRUCTION WITH CEMENT-SAND MORTAR (1:0).
4. ALL PROJECTED CHAJJA SHALL BE 0.450 M WIDE & 0.150 M BEARING WITH EACH SIDE OF THE OPENING.

AREA STATEMENT

AREA OF LAND [AS PER DEED] RECORDED = 04 KA 00 CH 00 SFT.	267.66 SQM.	PERMISSIBLE BUILDING HEIGHT =	12.80 M.	FLOOR	TYPE OF FLOOR
AREA OF LAND [AS PER PHYSICAL] = 05 KA 00 CH 34 SFT.	337.72 SQM.	PROPOSED BUILDING HEIGHT =	12.5 M.		
EXCESS LAND AREA =	70.06 SQM.	ROAD WIDTH =	6.41 M.	GR. FLOOR	MARBEL
NET LAND AREA = (337.72 - 70.06) =	267.66 SQM.	PERMISSIBLE F.A.R. =	1.75	1ST FLOOR	MARBEL
PERMISSIBLE GROUND COVERAGE = 58.11 %	166.26 SQM.	NO OF FLATS =	9 NOS	2ND FLOOR	MARBEL
PROPOSED GROUND COVERAGE = 48.89 %	164.43 SQM.	NO OF SHOP/OFFICE	0 NOS	3RD FLOOR	MARBEL
		TOTAL NO OF PARKING PROVIDE =	4 NOS		

BLOCK WISE AREA CALCULATION:-

A	B	C	D	E	F	G	H	I	J	K	L	M
TOTAL AREA (SQM)	LIFT WELL (SQM)	STAR DUCT (SQM)	ACTUAL AREA WITHOUT (A)-(B)-(C) (SQM)	STAR WELL AREA (SQM)	LIFT LOBBY AREA (SQM)	AREA EXCLUDING (E)-(F) (SQM)	ACTUAL RESIDENTIAL AREA (SQM)	AREA OF CARPARKING (SQM)	COMMERCIAL AREA (SQM)	SERVICE AREA (SQM)	CB & LOFT AREA @3% (SQM)	F.A.R.CALCULATION (M ²)(G4) LAND AREA (SQM)
GR. FL	138.13	0	138.13	13.13	1.79	124.21		100	99.92	0	15.16	0.00
1ST FL	164.43	1.89	0.44	162.1	12.89	1.79	147.62				4.86	4.28
2ND FL	164.43	1.89	0.44	162.1	12.89	1.79	147.62				4.86	3.65
3RD FL	164.43	1.89	0.44	162.1	12.89	1.79	147.62				4.86	4.28
TOTAL AREA	632.42	5.67	1.32	625.43	51.2	7.16	567.07				14.59	12.21
* TOTAL FLOOR AREA WITHOUT CB =								625.43	SQM.	ENTRANCE LOBBY AREA =	4.65	SQM.
* TOTAL FLOOR AREA WITH CB & STAIR HEAD ROOM =								625.43 + 12.21 + 16.47 = 654.11	SQM.	STAIR HEAD ROOM AREA =	16.47	SQM.
										WATER TANK VOLUME =	5.31	CUM.

PARKING AREA CALCULATION

*** INDIVIDUAL TENEMENT NOT EXCEEDING 60 SQM. IN THE ENTIRE BUILDING

FLOOR	TENEMENT MARK	RESIDENTIAL AREA (SQM)	COMM. AREA	REQUIRED PARKING	PARKING PROVIDE
GR. FLOOR					=437.21/250
1ST FLOOR	= (A + B + C)	=51.5 + 62.39 + 42.66 = 146.46 SQM.			=1.748
2ND FLOOR	= (A + B + C)	=44.54 + 57.21 + 42.66 = 144.41 SQM.			=2 NOS
3RD FLOOR	= (A + B + C)	=51.5 + 62.39 + 42.66 = 146.46 SQM.			AREA BENEFIT TAKEN FOR PARKING = 4 NOS.
TOTAL RESIDENTIAL AREA		= 437.21 SQM.			

JHARNA DEY SARKAR	SAMIRAN MUKHERJEE GEOTECH G.T.E-30(CLASS-1)
NAME OF OWNER .	NAME OF G.T.E .
SOURMEN DEY L.B.S NO. - 102 (CLASS - I) MOBILE NO. - 9831316952 NEAR BORAL POST OFFICE.	SAMIRAN MUKHERJEE B.C.E. E.S.E. NO. - 57
NAME OF L.B.S.	NAME OF E.S.E.

